

Broward

- E

ALTA / ACSM
URBAN LAND SURVEY

Legal Description

OUTPARCEL NO. 2
SHOPPES AT SAWGRASS COMMONS

A portion of Parcel "A", SAVANNAH, P.U.D. PLAT 6, according to the Plat thereof, as recorded in Plat Book 145, Page 24 of the Public Records of Broward County, Florida, more particularly described as follows:

Commence at the most Westerly Southeast corner of said Parcel "A" (said point being on the arc of a curve with a radial line through said point bearing North 18° 02' 38" East); thence Northwesterly along the Southerly line of said Parcel "A", and along the arc of said curve being concave to the Southwest, having a radius of 2351.83 feet, a central angle of 02° 29' 11", on an arc distance of 102.05 feet to the POINT OF BEGINNING; thence continue along said line and Northwesterly along the arc of said curve being concave to the Southwest, having a radius of 2351.83 feet, a central angle of 02° 29' 52", on an arc distance of 102.53 feet; thence along said line, North 72° 03' 14" West, 50.41 feet; thence North 04° 24' 10" East, 277.72 feet; thence South 72° 03' 14" East, 104.23 feet to a point on the arc of a non-tangent curve (a radial line through said point bears North 13° 19' 06" East); thence Southeastly along the arc of said curve being concave to the Southwest, having a radius of 2621.83 feet, a central angle of 01° 04' 41", on an arc distance of 49.33 feet; thence South 04° 24' 10" West, a distance of 274.65 feet to the POINT OF BEGINNING.

Said lands situate, lying and being in the City of Sunrise, Broward County, Florida, containing 0.9498 acres (41,374 square feet), more or less.

CERTIFICATION

We hereby certify that this survey meets the minimum technical standards as set forth by the Florida Board of Professional Land Surveyors in Chapter 61G17-6 Florida Administrative Code, pursuant to Section 472.027, Florida Statutes.

Dated at Fort Lauderdale, Florida, this 4th day of April, 1998.

McLAUGHLIN ENGINEERING COMPANY

JERALD A. McLAUGHLIN

Registered Land Surveyor No. 5258

State of Florida

prepared by:

McLAUGHLIN ENGINEERING COMPANY (LB#286)

400 N.E. 3rd AVENUE FORT LAUDERDALE, FLORIDA

PHONE: (954) 763-7611

FAX: (954) 763-7615

PREPARED UNDER THE SUPERVISION OF:

HAYES & MATTHEWS, INC.

NATIONAL DIVISION - A.L.T.A. SURVEYS

17220 Newhope Street - Suite 100/100

Plaza Del Lago Bldg.

Fountain Valley, CA 92708

714-979-7181

FAX 714-641-3540



DATE	REVISION	BY	APPROVED
5-14-98	REVISED PER CLIENT COMMENTS	B.E.	

WASH DEPOT

12921 W. Sunrise Blvd.
sunrise, Florida
(Elite Car Wash and Detailing)

SCALE:	CHKD./AP'VD:
DATE:	APPROVED:
DWN. BY:	Escrow No.:
CHKD BY:	FFCA No.:

LEGEND

Δ = CENTRAL ANGLE (DELTA)
R = RADIUS
A.C.B.G. = ARC BEARING
C.B.G. = CHORD BEARING
TAN.BRG. = TANGENT BEARING
P.O.C. = POINT OF COMMENCEMENT
P.O.B. = POINT OF BEGINNING
W/M.C. CAP. = WITH McLAUGHLIN ENGINEERING CO. CAP
P.R.M. = PERMANENT REFERENCE MONUMENT
CONC. = CONCRETE
C.B.S. = CONCRETE, BLOCK AND STUCCO
(8) = NUMBER OF PARKING SPACES

ELEV. = ELEVATION
O/S = OFFSET
A/C = AIR CONDITIONING
C = CENTERLINE OF RIGHT-OF-WAY
F.P.L. = FLORIDA POWER AND LIGHT CO.
S.B.T. = SOUTHERN BELL TELEPHONE
B.C.R. = BROWARD COUNTY RECORDS
D.C.R. = DADE COUNTY RECORDS
O.R. = OFFICIAL RECORDS BOOK
PAGE = PAGE
R/W = RIGHT-OF-WAY
ELEC. = ELECTRIC
EQUIP. = EQUIPMENT

Δ = 01°04'41"
R = 2621.83'
L = 49.33'

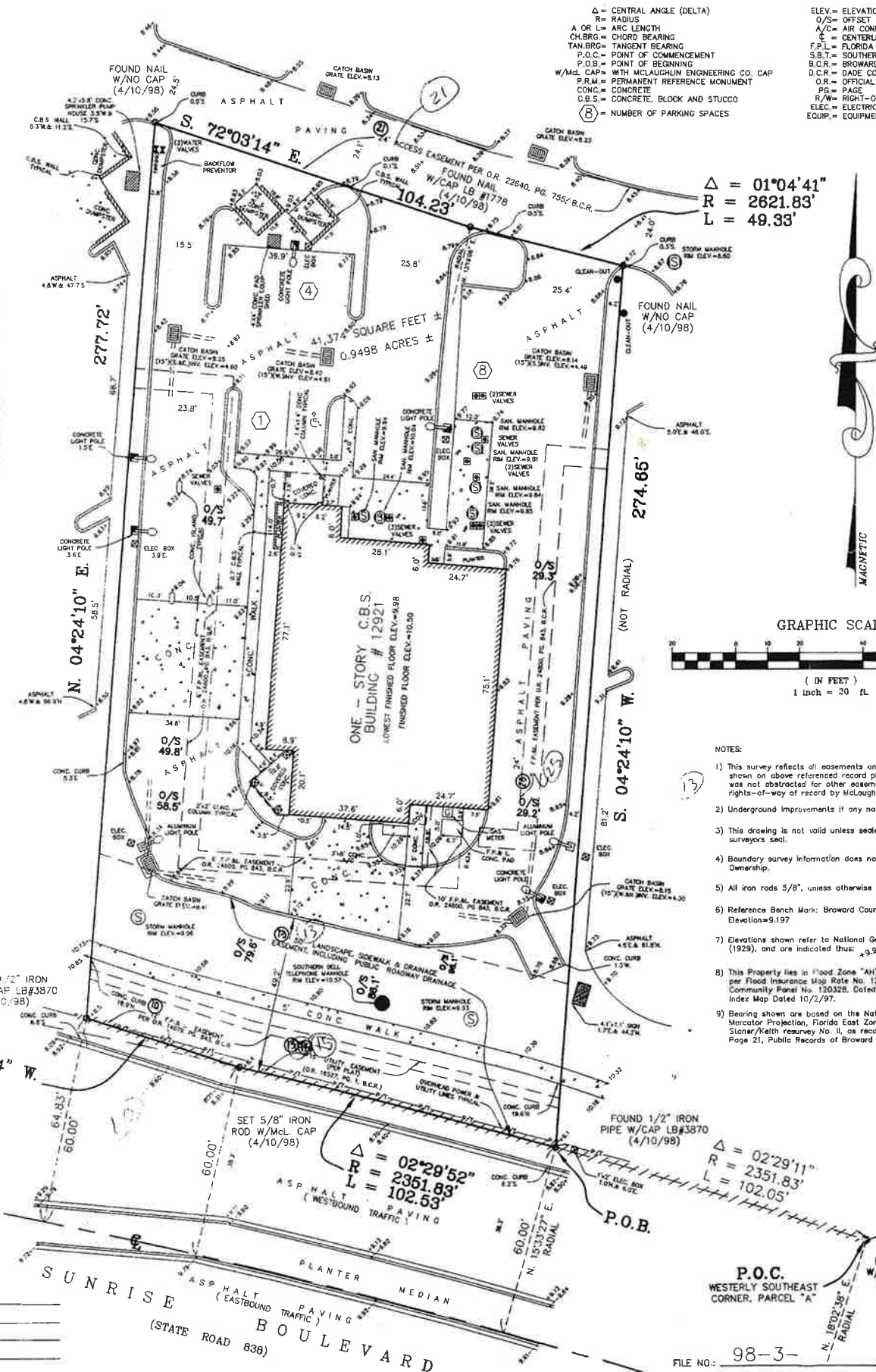
GRAPHIC SCALE
(IN FEET)
1 inch = 20 ft

NOTES:

- This survey reflects all easements and rights-of-way, as shown on above referenced record plat(s). The subject property was not abstracted for other easements road reservations or rights-of-way of record by McLaughlin Engineering Company.
- Underground Improvements if any not located.
- This drawing is not valid unless sealed with an embossed surveyor's seal.
- Boundary survey information does not infer Title or Ownership.
- All iron rods 5/8", unless otherwise noted.
- Reference Bench Mark: Broward County Bench Mark No. 3248, Elevation=9.197
- Elevations shown refer to National Geodetic Vertical Datum (1929), and are indicated thus: 9.90, Lowest Fin. Fl.=9.90
- This Property lies in "Flood Zone "AH", Base Elev.=8.0', per Flood Insurance Map Rate No. 1201100195 F, Community Panel No. 130328, Dated 8/18/92, Index Map Dated 10/2/97.
- Bearing shown are based on the National Geodetic Survey Transverse Mercator Projection, Florida East Zone, Grid North, according to the Slower/Keith resurvey No. 11, as recorded in Miscellaneous Plat Book 4, Page 21, Public Records of Broward County, Florida

SURVEYOR'S CERTIFICATE
THE UNDERSIGNED HEREBY CERTIFIES TO FIRST SECURITY COMMERCIAL MORTGAGE, L.P., A DELAWARE LIMITED PARTNERSHIP, ITS SUCCESSORS AND ASSIGNS, CONTRAIDRE SERVICES, L.L.C., A DELAWARE LIMITED LIABILITY COMPANY, LAWYERS TITLE INSURANCE CORPORATION, WASH DEPOT XV, INC. AND WASH DEPOT HOLDINGS, INC. that a) this plat of survey and the survey on which it was based were made in accordance with "Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys" jointly established and adopted by the American Land Title Association and the American Congress on Surveying and Mapping in 1992; meets the accuracy requirements of an urban survey, as defined therein; and includes items 1, 2, 3, 4, 6, 7, 8, 9, 10, 11 and 13 of Table "A" thereof; and (b) this plat of survey with the property description set forth hereon ("Property") was prepared by me, a registered land surveyor in the State of Florida and was actually made upon the ground. In addition, the undersigned hereby certifies that: (1) the information, courses and distances shown on this survey are correct; (2) the size, location and type of improvements are shown hereon and all are located within the boundaries of the Property and set back from the Property lines the distances indicated; (3) the Property is contiguous to, and has access to and from Sunrise Boulevard via 24' Access Easement per Official Records Book 22640, Page 755 Broward County Records, a public roadway; (4) there are no mobile home pads located on the Property, optional; (5) there are no visible easements or visible encumbrances (including utility lines) affecting the Property other than as shown and depicted on this survey; (6) except as shown on survey there are no visible encroachments or improvements on this Property over any easements or encumbrances, or onto adjoining property; (7) there are no other visible encroachments of any improvements on adjoining property onto the Property; (8) all recorded easements and other exceptions, as noted in the Lawyers Title Insurance Company's Commitment for Title Insurance No. 9800-459-5-F-11, dated February 27, 1998 have been correctly planned hereon; (9) current zoning, use and density classifications are shown hereon; (10) the Property constitutes on contiguous parcel without gaps or holes; and (11) the Property is designated as lying in Flood Zone "AH", Base Elevation = 8.0', per Flood Insurance Rate Map No. 1201100195F, Community No. 120328, Index dated 10/2/97, Map dated 8/18/92.

Dated: April 22, 1998



OFFICE NOTES
FIELD BOOK NO. LB#184/42 & 43 AND 105
JOB ORDER NO. S-9506
CHECKED BY: DRP
DRAWN BY: DRP

FILE NO. 98-3-

98-3-037

JN 11501